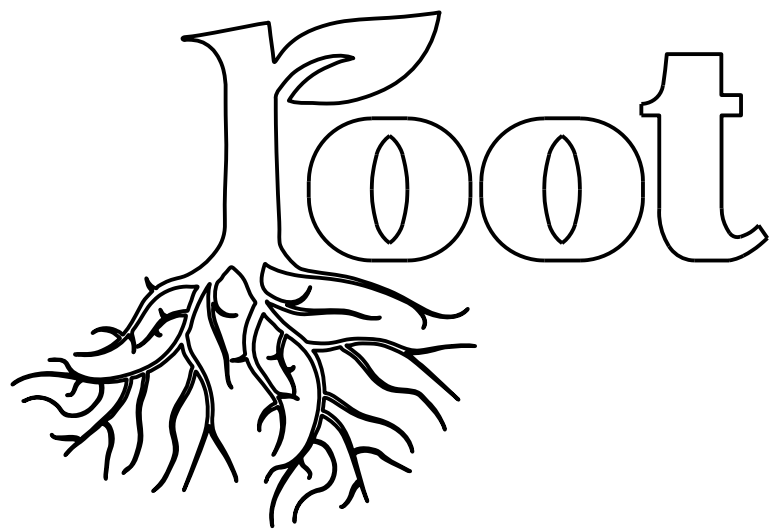




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WEDGEWOOD
GARDENS
DEVELOPMENT INC.

WEDGEWOOD DRIVE
TOWNSHIP OF
VERONA
ESSEX COUNTY, NJ

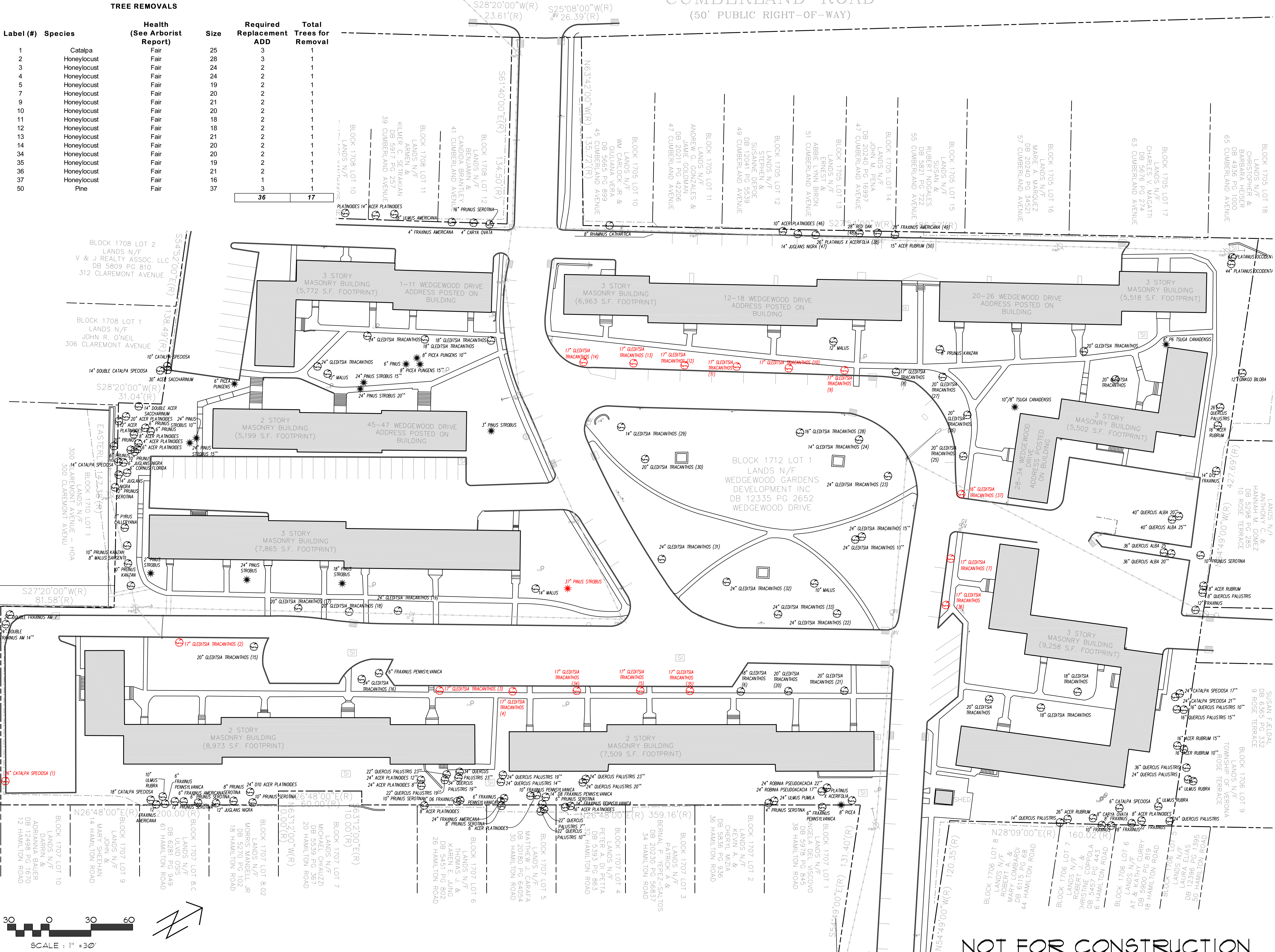
DATE: 9.20.24

existing conditions
and tree removal plan

PAGE 1 OF 3
PROJECT ID: wedgewoodca

REV	DATE	DESCRIPTION	DRAW	CHECK
3	8.20.25	RESUBMISSION	BH	BH
2	10.16.24	DRAFT SET	BH	BH
1	9.20.24	DRAFT SET	BH	BH

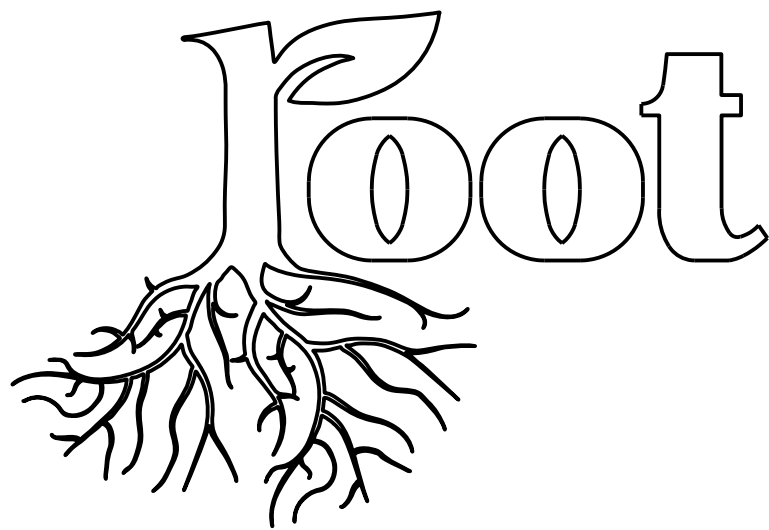
Benjamin Ross Heller
Landscape Architect
Lic# 21AS00124600



PLANT SCHEDULE

Qty	Latin Name	Common Name	Size	Comments
Trees:				
6	Acer rubrum 'Armstrong'	Armstrong Red Maple	2.5" Cal, B&B	Heavy, Symm
3	Quercus bicolor	Swamp White Oak	2.5" Cal, B&B	Heavy, Symm
4	Quercus x warei 'Long'	Kindred Spirit Oak	2.5" Cal, B&B	Heavy, Symm
2	Quercus paucifloris 'Pringreen'	Green Pillar Pin Oak	2.5" Cal, B&B	Heavy, Symm
2	Fagus sylvatica 'Fastigiata'	Fastigate Beech	2.5" Cal, B&B	Heavy, Symm
3	Cercis canadensis	Eastern Redbud	7-8", B&B	Heavy, Symm
2	Cornus florida	Flowering Dogwood	7-8", B&B	Heavy, Symm

TOTAL REPLACEMENT: 17 DECIDUOUS, 5 FLOWERING



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WEDGEWOOD
GARDENS
DEVELOPMENT INC.

WEDGEWOOD DRIVE
TOWNSHIP OF
VERONA
ESSEX COUNTY, NJ

DATE: 9.20.24

tree replacement
planting plan

PAGE 2 OF 3
PROJECT ID: wedgewoodca

REV	DATE	DESCRIPTION	DRAW	CHECK
3	8.20.25	RESUBMISSION	BH	BH
2	10.6.24	DRAFT SET	BH	BH
1	9.20.24	DRAFT SET	BH	BH

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NOT FOR CONSTRUCTION

PLANT SCHEDULE

Qty	Latin Name	Common Name	Size	Comments
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3	Quercus bicolor	Swamp White Oak	2.5" Cal, B&B	Heavy, Symm
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2	Quercus paulustris 'Pringreen'	Green Pillar Pin Oak	2.5" Cal, B&B	Heavy, Symm
2	Fagus Sylvatica 'Fastigiata'	Fastigiata Beech	2.5" Cal, B&B	Heavy, Symm
3	Cercis Canadensis	Eastern Redbud	7-8", B&B	Heavy, Symm
2	Cornus Florida	Flowering Dogwood	7-8", B&B	Heavy, Symm

TOTAL REPLACEMENT: 17 DECIDUOUS, 5 FLOWERING

TREE REMOVALS

Label (#)	Species	Health (See Arborist Report)	Size	Required Replacement ADD	Total Trees for Removal
1	Catalpa	Fair	25	3	1
2	Honeylocust	Fair	28	3	1
3	Honeylocust	Fair	24	2	1
4	Honeylocust	Fair	24	2	1
5	Honeylocust	Fair	19	2	1
7	Honeylocust	Fair	20	2	1
9	Honeylocust	Fair	21	2	1
10	Honeylocust	Fair	20	2	1
11	Honeylocust	Fair	18	2	1
12	Honeylocust	Fair	18	2	1
13	Honeylocust	Fair	21	2	1
14	Honeylocust	Fair	20	2	1
34	Honeylocust	Fair	20	2	1
35	Honeylocust	Fair	19	2	1
36	Honeylocust	Fair	21	2	1
37	Honeylocust	Fair	16	1	1
50	Pine	Fair	37	3	1
				36	17

PLANTING NOTES

NO SUBSTITUTIONS WILL BE PERMITTED UNLESS PRIOR APPROVAL IS GIVEN BY THE LANDSCAPE ARCHITECT IN WRITING. ALL PLANT MATERIAL SHALL COMPLY WITH THE RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARDS FOR NURSERY STOCK" LATEST REVISION.

THE FINAL LOCATION OF ALL PLANTS TO BE DETERMINED IN THE FIELD BY THE LANDSCAPE ARCHITECT.

ALL PLANTS AND ENTIRE SHRUB BEDS TO RECEIVE 3" LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH. MULCH ALL EVERGREEN TREES TO WITHIN 6" OF BRANCH TOPSOIL AND SEED ALL DISTURBED AREAS AS A RESULT OF ANY AND ALL CONSTRUCTION OR STORAGE OF EQUIPMENT. WHETHER AREAS ARE SHOWN AS LAWN OR NOT, CONTRACTORS TO FIELD VERIFY AREAS OF SEED. AREAS NOT DIRECTLY RELATED TO DEVELOPMENT WILL BE RETAINED IN THEIR NATURAL STATE.

TOPSOIL SHALL BE SANDY LOAM, FREE FROM SUBSOIL, STONES LARGER THAN 1", OR ANY UNDESIRABLE MATERIAL - 4% - 5% ORGANIC MATTER - PH 5.0 TO 6.5.

TOPSOIL FOR PLANT BEDS SHALL BE IMPROVED BY MIXING AS FOLLOWS: (3:2:1 MIXTURE)
50% APPROVED SCREENED SANDY LOAM TOPSOIL
33% COARSE CONCRETE SAND
17% SCREENED COMPOST - "ALLGRO" OR EQUAL

PROVIDE THIS IMPROVED TOPSOIL MIXTURE TO DEPTHS AS FOLLOWS:
6" IN GROUND COVER AREAS
12" IN SHRUB BED AREAS
2'-6" DEPTH TO WIDTH OF TREE PIT AS SHOWN ON DETAIL

PROVIDE AND SPREAD APPROVED SANDY LOAM TOPSOIL TO 6" DEPTH IN LAWN AREAS. ROTOTILL IMPROVED TOPSOIL MIXTURE INTO TOP 6" FOR LAWN AREAS AND INTO TOP 12" FOR SHRUB BED AREAS. ROOT BALLS OF PLANTS SHALL BE SET 0" TO 2" ABOVE FINISHED GRADE.

CUT AND REMOVE BURLAP FROM TOP AND SIDES OF BALL. REMOVE ALL NYLON AND PLASTIC. REMOVE ALL NON-ROT BURLAP AND CUT OFF SIDES OF WIRE BASKETS FROM BALL IF PRESENT. DO NOT STAKE ANY PLANTS.

THE OWNERS AND THE LANDSCAPE ARCHITECT WILL DETERMINE AREAS OF SOD. SOD LAWNS SHALL BE A BLUEGRASS FESCUE MIXTURE CONFORMING TO AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. SEEDED LAWNS SHALL BE SEEDED AT A RATE OF 6-8-LBS/1000 SQ. FT BETWEEN THE DATES OF APRIL 1 - MAY 31 OR AUGUST 16 - OCTOBER 15. LIME AND FERTILIZE LAWN AREAS AS SPECIFIED.

SEED FOR SUNNY ACTIVE AREAS SHALL BE LOFTS SEED INC., OR APPROVED EQUAL:
40% NASSAU AND PREAKNESS KENTUCKY BLUEGRASS
20% PRINCETON 105 KENTUCKY BLUEGRASS
20% PALMER II PERENNIAL RYEGRASS
20% REBEL II TALL FESCUE

SEED FOR SHADY AREAS SHALL BE LOFTS SEED INC., OR APPROVED EQUAL:
40% REBEL II TALL FESCUE
40% BARON KENTUCKY BLUEGRASS
20% PALMER II PERENNIAL RYEGRASS

SEED MIXTURE FOR STEEP SLOPES AND DETENTION/RETENTION BASINS:
80% RELIANT II HARD FESCUE
20% JAMESTOWN II CHEWING FESCUE

GENERAL NOTES

- CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. CALL THE UNDERGROUND UTILITY LOCATION SERVICE (1-800-272-1000) ONE WEEK PRIOR TO WORK START.
- CONTRACTOR SHALL HAVE IN EFFECT GENERAL LIABILITY INSURANCE, WORKERS COMPENSATION INSURANCE AND SHALL PROVIDE CERTIFICATES UPON REQUEST.
- THE LANDSCAPE DESIGNER SHALL BE CONSULTED IN ANY SITUATIONS WHERE ON-SITE CONDITIONS PROHIBIT CONSTRUCTION AS SHOWN ON THE PLANS PRIOR TO MAKING ANY CHANGES.
- CONTRACTOR SHALL TAKE CARE TO PROTECT FROM CONSTRUCTION ALL EXISTING TREES THAT ARE TO REMAIN.
- CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MATERIALS FOR APPROVAL AT THE REQUEST OF LANDSCAPE DESIGNER OR OWNER.
- NO SUBSTITUTIONS OF MATERIALS OR DESIGN CHANGES SHALL BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE DESIGNER OR OWNER.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL LAY OUT ALL CONSTRUCTION ELEMENTS TO VERIFY THAT ALL INFORMATION ON THE PLAN IS CORRECT AS IT RELATES TO EXISTING CONDITIONS IN THE FIELD AND FOR OWNERS' APPROVAL.
- THE LANDSCAPE DESIGNER IS NOT RESPONSIBLE FOR THE MEANS, METHODS OR APPROPRIATENESS OF THE INSTALLATION PROCEDURES UNDERTAKEN BY ANY CONTRACTOR, OR FOR THE JOB SITE SAFETY.
- CONTRACTOR OR OWNER SHALL OBTAIN ALL PERMITS NECESSARY FOR CONSTRUCTION FROM THE APPROPRIATE LOCAL, STATE AND FEDERAL AGENCIES.
- CONTRACTOR SHOULD TAKE ALL APPROPRIATE MEASURES TO PROTECT WILDLIFE, RESTORED NATIVE ZONES, WATERSHEDS AND GENERAL ECOLOGICAL STABILITY OF THE SITE.

GRADING AND DRAINAGE

ALL GRADES SHALL PITCH AWAY FROM THE HOUSE AT A MINIMUM 1% SLOPE ON PAVED AREAS AND 2% SLOPE ON LANDSCAPED AREAS. CONTRACTOR SHALL TAKE MEASURES TO PROTECT NEIGHBORING PROPERTIES, PUBLIC ROADS, UTILITIES FROM SILT, RUNOFF AND EROSION.

CLEAN-UP

CONTRACTOR SHALL LEAVE THE SITE EACH DAY IN AN ORDERLY FASHION AND SHOULD REMOVE ALL LITTER, REFUSE, DEBRIS AND HAZARDOUS MATERIALS FROM THE SITE DAILY IN COMPLIANCE WITH APPROPRIATE LOCAL, STATE, AND FEDERAL REGULATIONS. CONTRACTOR SHALL TAKE MEASURES TO LIMIT THE AMOUNT OF SOIL LEAVING THE SITE ON EQUIPMENT. ANY DEBRIS ON ROAD SURFACES SHOULD BE CLEANED DAILY.

CONDUIT

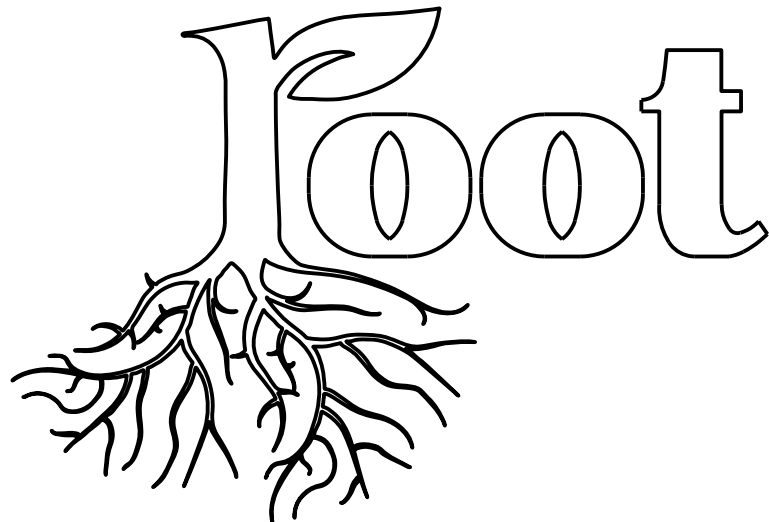
CONTRACTOR SHALL PROVIDE TWO (2) 4" PVC CONDUITS SIDE BY SIDE (ONE FOR IRRIGATION, ONE FOR ELECTRIC) UNDER ALL CONSTRUCTED SURFACES AND THROUGH ALL RETAINING WALLS TO ALLOW ACCESS TO PLANTING BEDS FOR IRRIGATION AND ELECTRIC. CONTRACTOR SHALL MARK ALL CONDUIT LOCATIONS FOR FUTURE USE.

PORTABLE BATHROOM FACILITIES

IF APPLICABLE, THE CONTRACTOR MUST PROVIDE A PORTO-JOHN UNIT FOR THE DURATION OF THE PROJECT IN A LOCATION APPROVED BY THE MUNICIPALITY AND THE OWNER.

TREE TABLE PER ARBORIST REPORT

Tree ID	Common Name	Condition	DPM	Status	Disposition	Comments
1	Northern Catalpa	Fair	25	Protected	Remove	Within footprint of parking lot
2	Thornless Common Honeylocust	Fair	28	Protected	Remove	Within 2' of parking, and curb replacement
3	Thornless Common Honeylocust	Fair	24	Protected	Remove	Within 2' of parking, and curb replacement
4	Thornless Common Honeylocust	Fair	24	Protected	Remove	Within 2' of parking, and curb replacement
5	Thornless Common Honeylocust	Fair	19	Protected	Remove	Within 2' of parking, and curb replacement
7	Thornless Common Honeylocust	Fair	20	Protected	Remove	Within 2' of parking, and curb replacement
8	Thornless Common Honeylocust	Fair	15	Protected	Removal Recommended	Within 3' of parking, and curb replacement To be retained on request by Tom Purtell and Rich Wolowitz
9	Thornless Common Honeylocust	Fair	21	Protected	Remove	Within 2' of parking, and curb replacement
10	Thornless Common Honeylocust	Fair	20	Protected	Remove	Within 2' of parking, and curb replacement
11	Thornless Common Honeylocust	Fair	18	Protected	Remove	Within 2' of parking, and curb replacement
12	Thornless Common Honeylocust	Fair	18	Protected	Remove	Within 2' of parking, and curb replacement
13	Thornless Common Honeylocust	Fair	21	Protected	Remove	Within 2' of parking, and curb replacement
14	Thornless Common Honeylocust	Fair	20	Protected	Remove	Within 2' of parking, and curb replacement
34	Thornless Common Honeylocust	Poor	20	Protected	Remove	Within 2' of parking, and curb replacement
35	Thornless Common Honeylocust	Fair	19	Protected	Remove	Within 2' of parking, and curb replacement
36	Thornless Common Honeylocust	Fair	21	Protected	Remove	Within 2' of parking, and curb replacement
37	Thornless Common Honeylocust	Fair	16	Protected	Remove	Within 2' of parking, and curb replacement



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details and notes

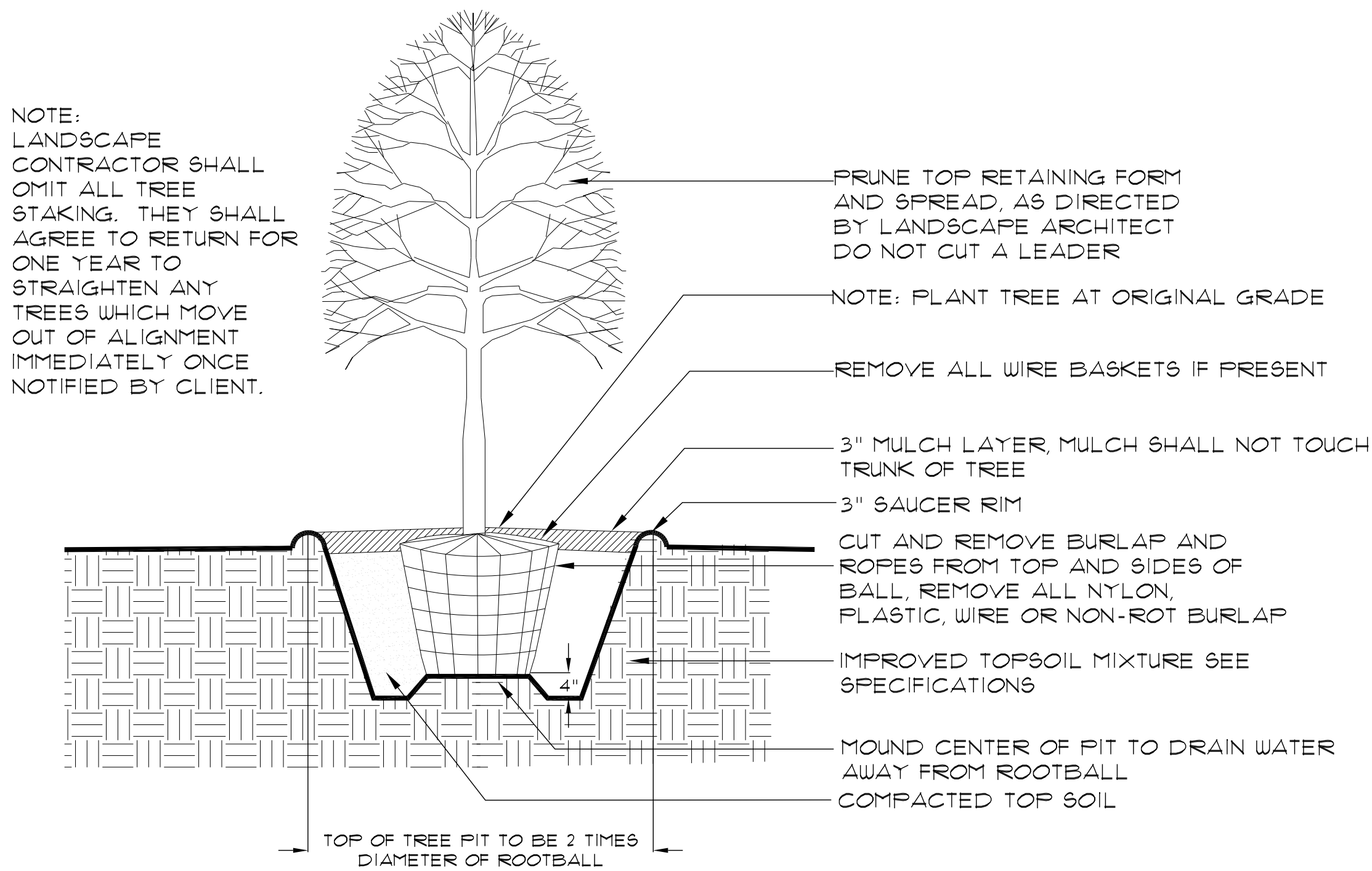
PAGE 3 OF 3
PROJECT ID: wedgewoodca

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REV	DATE	DESCRIPTION	DRAW	CHECK	



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A TREE PLANTING (TYP)
SCALE : 1" = 1'